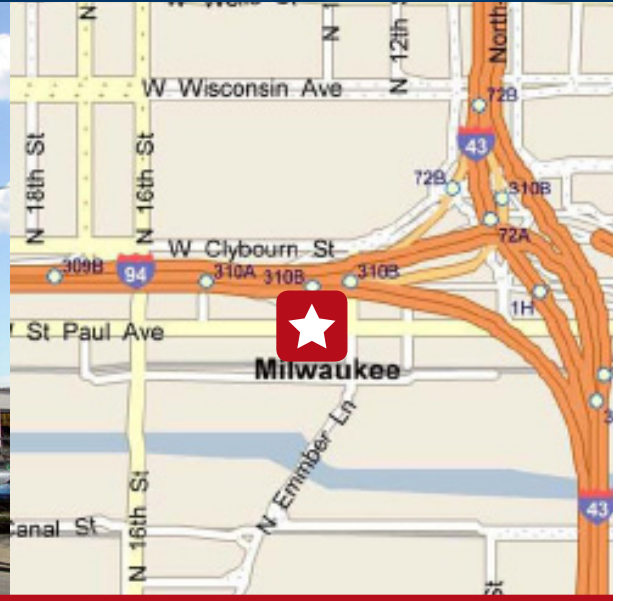


**324 N. 15th Street & 1357-1439 W. Saint Paul Avenue**  
Milwaukee, WI 53233



**FOR SALE**  
**59,691 SF DEVELOPMENT OPPORTUNITY**  
**Asking Sale Price: \$1,400,000**

### Property Highlights

- Downtown Milwaukee location
- Wood floors and beams
- Milwaukee cream city brick walls
- New windows
- Exit off I-94 going east at 13th Street

#### CONTACT:

**Pete Slezak**  
**Senior Vice President**  
414-272-6721  
pslezak@barrycre.com



Commercial Real Estate Services  
Since 1921

1232 NORTH EDISON STREET | MILWAUKEE, WI 53202 | 414-271-1870 MAIN | 414-271-1478 FAX | WWW.BARRYCRE.COM

The information contained herein was lawfully obtained from sources we consider reliable but may contain errors, omissions, approximations or outdated information. The Barry Company, Inc., its employees and independent contractors make no representations or warranties whatsoever regarding: (1) the accuracy of the information contained herein and (2) the physical or environmental condition of this property or any part of this property. Prospective purchasers are strongly encouraged to conduct an independent investigation of the condition of this property.

**324 N. 15th Street & 1357-1439 W. Saint Paul Avenue**  
Milwaukee, WI 53233

## FOR SALE

**59,691 SF DEVELOPMENT OPPORTUNITY**

**Asking Sale Price: \$1,400,000**

### Property Specifications

Building Size:	59,691 sq ft
Vacant Square Feet:	59,691 sq ft
Number of Floors:	4 plus a basement
Basement Size:	8,771 sq ft
1st Floor Size:	13,227 sq ft
2nd Floor Size:	12,637 sq ft
3rd Floor Size:	12,528 sq ft
4th Floor Size:	12,528 sq ft
Year Built:	Older
Year Renovated:	When sold
Construction Type:	Masonry & wood
Power:	To be determined
Elevators:	Yes, but new one to be installed
Utilities:	Municipal
Present Use:	Vacant
Site Size:	2.12 acres
Parking Area:	Per development plan – 147 spaces
Zoning:	IH Heavy Industrial
Public Transportation:	Two blocks away



CONTACT:

**Pete Slezak**  
**Senior Vice President**  
414-272-6721  
pslezak@barrycre.com



1232 NORTH EDISON STREET | MILWAUKEE, WI 53202 | 414-271-1870 MAIN | 414-271-1478 FAX | WWW.BARRYCRE.COM

The information contained herein was lawfully obtained from sources we consider reliable but may contain errors, omissions, approximations or outdated information. The Barry Company, Inc., its employees and independent contractors make no representations or warranties whatsoever regarding: (1) the accuracy of the information contained herein and (2) the physical or environmental condition of this property or any part of this property. Prospective purchasers are strongly encouraged to conduct an independent investigation of the condition of this property.

**BROKER DISCLOSURE TO NON-RESIDENTIAL CUSTOMERS**

1 Prior to negotiating on your behalf the Broker must provide you the following disclosure statement:

2 **BROKER DISCLOSURE TO CUSTOMERS**

3 You are a customer of the broker. The broker is either an agent of another party in the transaction or a subagent of another broker  
4 who is the agent of another party in the transaction. The broker, or a salesperson acting on behalf of the broker, may provide  
5 brokerage services to you. Whenever the broker is providing brokerage services to you, the broker owes you, the customer, the  
6 following duties:

7 ■ The duty to provide brokerage services to you fairly and honestly.

8 ■ The duty to exercise reasonable skill and care in providing brokerage services to you.

9 ■ The duty to provide you with accurate information about market conditions within a reasonable time if you request it, unless  
10 disclosure of the information is prohibited by law.

11 ■ The duty to disclose to you in writing certain material adverse facts about a property, unless disclosure of the information is  
12 prohibited by law (**See Lines 47-55**).

13 ■ The duty to protect your confidentiality. Unless the law requires it, the broker will not disclose your confidential information or the  
14 confidential information of other parties (**See Lines 22-39**).

15 ■ The duty to safeguard trust funds and other property the broker holds.

16 ■ The duty, when negotiating, to present contract proposals in an objective and unbiased manner and disclose the advantages and  
17 disadvantages of the proposals.

18 Please review this information carefully. A broker or salesperson can answer your questions about brokerage services, but if you  
19 need legal advice, tax advice, or a professional home inspection, contact an attorney, tax advisor, or home inspector.

20 This disclosure is required by section 452.135 of the Wisconsin statutes and is for information only. It is a plain-language summary of  
21 a broker's duties to a customer under section 452.133 (1) of the Wisconsin statutes.

22 **CONFIDENTIALITY NOTICE TO CUSTOMERS**

23 BROKER WILL KEEP CONFIDENTIAL ANY INFORMATION GIVEN TO BROKER IN CONFIDENCE, OR ANY INFORMATION  
24 OBTAINED BY BROKER THAT HE OR SHE KNOWS A REASONABLE PERSON WOULD WANT TO BE KEPT CONFIDENTIAL,  
25 UNLESS THE INFORMATION MUST BE DISCLOSED BY LAW OR YOU AUTHORIZE THE BROKER TO DISCLOSE PARTICULAR  
26 INFORMATION. A BROKER SHALL CONTINUE TO KEEP THE INFORMATION CONFIDENTIAL AFTER BROKER IS NO LONGER  
27 PROVIDING BROKERAGE SERVICES TO YOU.

28 THE FOLLOWING INFORMATION IS REQUIRED TO BE DISCLOSED BY LAW:

29 1. MATERIAL ADVERSE FACTS, AS DEFINED IN SECTION 452.01 (5g) OF THE WISCONSIN STATUTES (**SEE LINES 47-55**).

30 2. ANY FACTS KNOWN BY THE BROKER THAT CONTRADICT ANY INFORMATION INCLUDED IN A WRITTEN INSPECTION  
31 REPORT ON THE PROPERTY OR REAL ESTATE THAT IS THE SUBJECT OF THE TRANSACTION.

32 TO ENSURE THAT THE BROKER IS AWARE OF WHAT SPECIFIC INFORMATION YOU CONSIDER CONFIDENTIAL, YOU MAY LIST  
33 THAT INFORMATION BELOW (**SEE LINES 35-36**). AT A LATER TIME, YOU MAY ALSO PROVIDE THE BROKER WITH OTHER  
34 INFORMATION YOU CONSIDER TO BE CONFIDENTIAL.

35 **CONFIDENTIAL INFORMATION:** \_\_\_\_\_

36

37 **NON-CONFIDENTIAL INFORMATION** (The following information may be disclosed by Broker): \_\_\_\_\_

38

39 *(INSERT INFORMATION YOU AUTHORIZE THE BROKER TO DISCLOSE SUCH AS FINANCIAL QUALIFICATION INFORMATION.)*

40 **CONSENT TO TELEPHONE SOLICITATION**

41 I/We agree that the Broker and any affiliated settlement service providers (for example, a mortgage company or title company) may  
42 call our/my home or cell phone numbers regarding issues, goods and services related to the real estate transaction until I/we  
43 withdraw this consent in writing. **List Home/Cell Numbers:** \_\_\_\_\_

44 **SEX OFFENDER REGISTRY**

45 *Notice: You may obtain information about the sex offender registry and persons registered with the registry by contacting the*  
46 *Wisconsin Department of Corrections on the Internet at: <http://offender.doc.state.wi.us/public/> or by phone at 608-240-5830.*

47 **DEFINITION OF MATERIAL ADVERSE FACTS**

48 A "material adverse fact" is defined in Wis. Stat. § 452.01(5g) as an adverse fact that a party indicates is of such significance, or that  
49 is generally recognized by a competent licensee as being of such significance to a reasonable party, that it affects or would affect  
50 the party's decision to enter into a contract or agreement concerning a transaction or affects or would affect the party's decision  
51 about the terms of such a contract or agreement. An "adverse fact" is defined in Wis. Stat. § 452.01(1e) as a condition or occurrence  
52 that a competent licensee generally recognizes will significantly and adversely affect the value of the property, significantly reduce  
53 the structural integrity of improvements to real estate, or present a significant health risk to occupants of the property; or information  
54 that indicates that a party to a transaction is not able to or does not intend to meet his or her obligations under a contract or  
55 agreement made concerning the transaction.

No representation is made as to the legal validity of any provision or the adequacy of any provision in any specific transaction.

Copyright 2007 by Wisconsin REALTORS® Association

Drafted by Attorney Debra Peterson Conrad



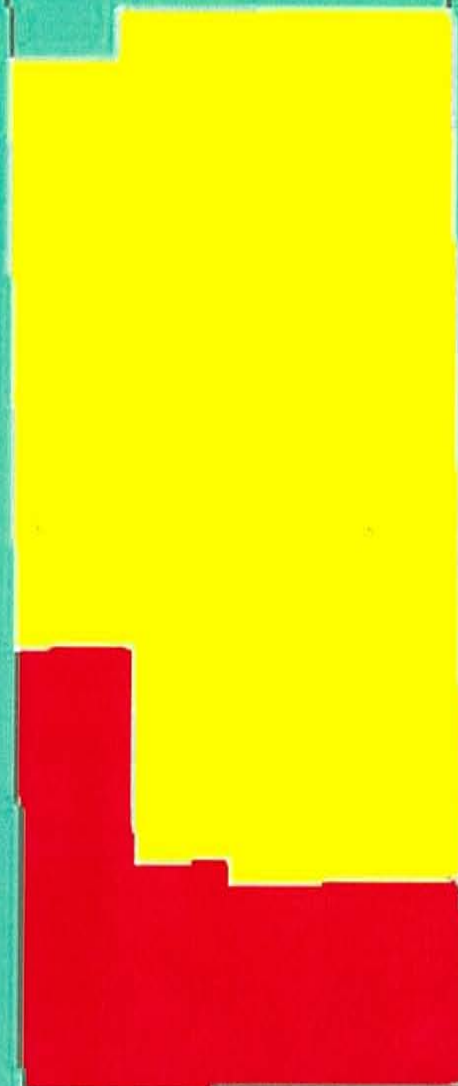
4

N 15TH ST

W ST PAUL AV

W MT VERNON AV

N 16TH ST



[illegible]

1948 Purifying Spenties Provided  
(S) Handing Per (C) 1948 4 1 1)

Items 1-4 (3) Categories: Error  
(Heavy Lineman not Similar)

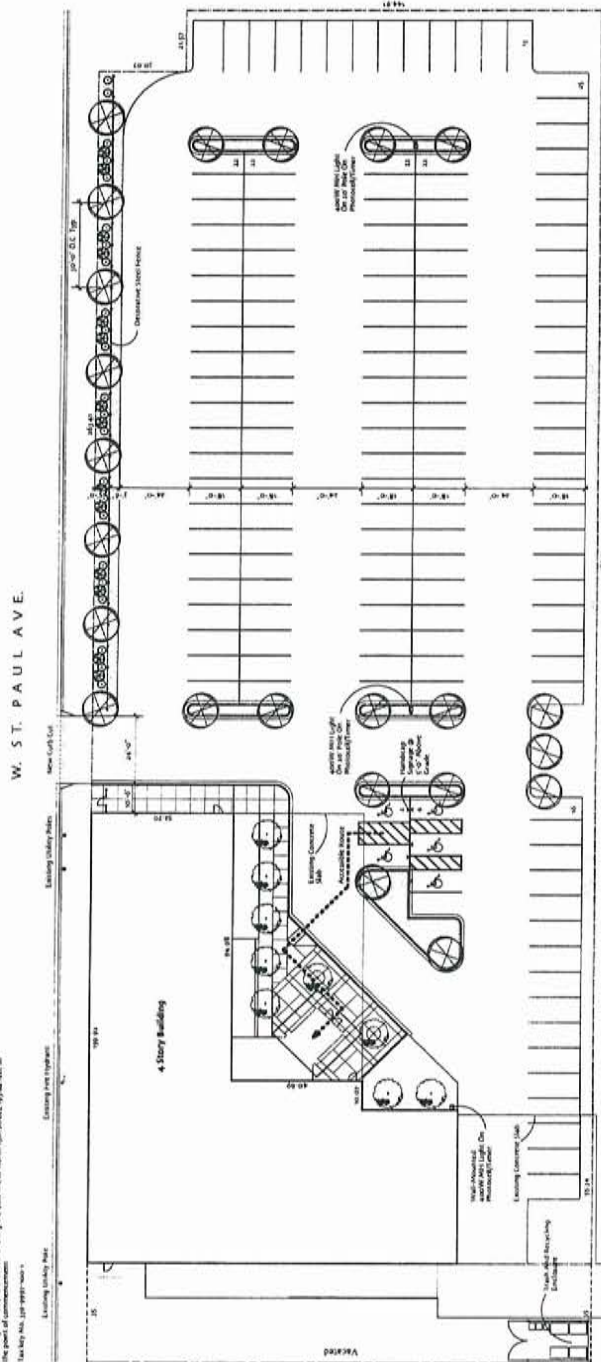
Questions: Struck 30' x 7' (1) (2) (3) and Reaching not Similar  
(4) (5) Required 2' Pulley, Struck 30' x 7' (1) (2) (3) and Reaching not Similar  
Case 27 Crankmen 100 x 100 (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) (182) (183) (184) (185) (186) (187) (188) (189) (190) (191) (192) (193) (194) (195) (196) (197) (198) (199) (200) (201) (202) (203) (204) (205) (206) (207) (208) (209) (210) (211) (212) (213) (214) (215) (216) (217) (218) (219) (220) (221) (222) (223) (224) (225) (226) (227) (228) (229) (230) (231) (232) (233) (234) (235) (236) (237) (238) (239) (240) (241) (242) (243) (244) (245) (246) (247) (248) (249) (250) (251) (252) (253) (254) (255) (256) (257) (258) (259) (260) (261) (262) (263) (264) (265) (266) (267) (268) (269) (270) (271) (272) (273) (274) (275) (276) (277) (278) (279) (280) (281) (282) (283) (284) (285) (286) (287) (288) (289) (290) (291) (292) (293) (294) (295) (296) (297) (298) (299) (300) (301) (302) (303) (304) (305) (306) (307) (308) (309) (310) (311) (312) (313) (314) (315) (316) (317) (318) (319) (320) (321) (322) (323) (324) (325) (326) (327) (328) (329) (330) (331) (332) (333) (334) (335) (336) (337) (338) (339) (340) (341) (342) (343) (344) (345) (346) (347) (348) (349) (350) (351) (352) (353) (354) (355) (356) (357) (358) (359) (360) (361) (362) (363) (364) (365) (366) (367) (368) (369) (370) (371) (372) (373) (374) (375) (376) (377) (378) (379) (380) (381) (382) (383) (384) (385) (386) (387) (388) (389) (390) (391) (392) (393) (394) (395) (396) (397) (398) (399) (400) (401) (402) (403) (404) (405) (406) (407) (408) (409) (410) (411) (412) (413) (414) (415) (416) (417) (418) (419) (420) (421) (422) (423) (424) (425) (426) (427) (428) (429) (430) (431) (432) (433) (434) (435) (436) (437) (438) (439) (440) (441) (442) (443) (444) (445) (446) (447) (448) (449) (450) (451) (452) (453) (454) (455) (456) (457) (458) (459) (460) (461) (462) (463) (464) (465) (466) (467) (468) (469) (470) (471) (472) (473) (474) (475) (476) (477) (478) (479) (480) (481) (482) (483) (484) (485) (486) (487) (488) (489) (490) (491) (492) (493) (494) (495) (496) (497) (498) (499) (500) (501) (502) (503) (504) (505) (506) (507) (508) (509) (510) (511) (512) (513) (514) (515) (516) (517) (518) (519) (520) (521) (522) (523) (524) (525) (526) (527) (528) (529) (530) (531) (532) (533) (534) (535) (536) (537) (538) (539) (540) (541) (542) (543) (544) (545) (546) (547) (548) (549) (550) (551) (552) (553) (554) (555) (556) (557) (558) (559) (560) (561) (562) (563) (564) (565) (566) (567) (568) (569) (570) (571) (572) (573) (574) (575) (576) (577) (578) (579) (580) (581) (582) (583) (584) (585) (586) (587) (588) (589) (590) (591) (592) (593) (594) (595) (596) (597) (598) (599) (600) (601) (602) (603) (604) (605) (606) (607) (608) (609) (610) (611) (612) (613) (614) (615) (616) (617) (618) (619) (620) (621) (622) (623) (624) (625) (626) (627) (628) (629) (630) (631) (632) (633) (634) (635) (636) (637) (638) (639) (640) (641) (642) (643) (644) (645) (646) (647) (648) (649) (650) (651) (652) (653) (654) (655) (656) (657) (658) (659) (660) (661) (662) (663) (664) (665) (666) (667) (668) (669) (670) (671) (672) (673) (674) (675) (676) (677) (678) (679) (680) (681) (682) (683) (684) (685) (686) (687) (688) (689) (690) (691) (692) (693) (694) (695) (696) (697) (698) (699) (700) (701) (702) (703) (704) (705) (706) (707) (708) (709) (710) (711) (712) (713) (714) (715) (716) (717) (718) (719) (720) (721) (722) (723) (724) (725) (726) (727) (728) (729) (730) (731) (732) (733) (734) (735) (736) (737) (738) (739) (740) (741) (742) (743) (744) (745) (746) (747) (748) (749) (750) (751) (752) (753) (754) (755) (756) (757) (758) (759) (760) (761) (762) (763) (764) (765) (766) (767) (768) (769) (770) (771) (772) (773) (774) (775) (776) (777) (778) (779) (780) (781) (782) (783) (784) (785) (786) (787) (788) (789) (790) (791) (792) (793) (794) (795) (796) (797) (798) (799) (800) (801) (802) (803) (804) (805) (806) (807) (808) (809) (810) (811) (812) (813) (814) (815) (816) (817) (818) (819)



**KUBALA WASHATTO  
ARCHITECTS  
INC.**  
9811 16177 Mainway Ave.  
Cedarburg, Wisconsin 53012  
Tel 262.377.2889  
Fax 262.377.2554  
e-mail: [jkubala@kwa.com](mailto:jkubala@kwa.com)

**ST. PAUL  
WAREHOUSE**  
Renovation and  
Remodeling  
1500 W. St. Paul Ave.  
Milwaukee, WI 53233

**READCO**  
P.O. Box 1131  
Milwaukee, WI 53201  
tel: 414.272.6249  
fax: 414.272.9989  
e-mail: [mljack@aol.com](mailto:mljack@aol.com)



SOO LINE R.R.

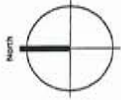
W. MOUNT VERNON AVE.

## Site Plan

# C1.0

Site Plan  
Scale: 1" = 20'





INC.  
1911 1817 Morgan Ave.  
Cedarburg, Wisconsin 53012  
Tel 262.577.6003  
Fax 262.577.2954  
web: jacobus-inc.com

1500 W. St. Paul Ave.  
Milwaukee, WI 53233

**READCO**  
P.O. Box 1131  
Milwaukee, WI 53201  
tel: 414.272.6249  
fax: 414.272.9989  
e-mail: info@readco.com

BASEMENT FLOOR

ALYON CLOUTIER 556

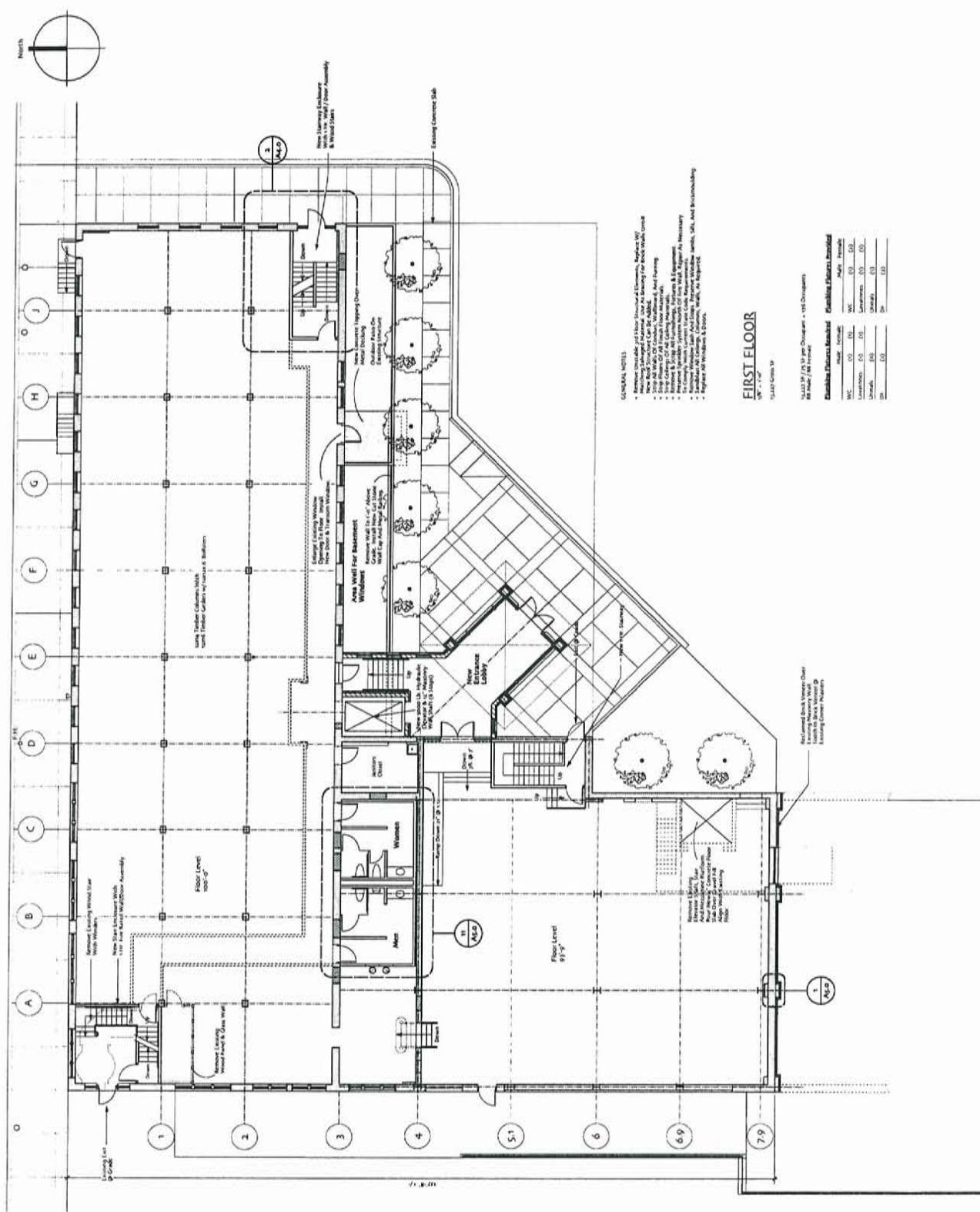
© 1999 by The McGraw-Hill Companies, Inc.

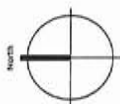
Flamklean Estimators Resigned		Flamklean Estimators Provided			
	Male	Female	Male	Female	
WVC	(0)	(0)	WVC	(0)	(4)
Launderers	(0)	(0)	Launderers	(0)	(0)
Unemployed	(6)		Unemployed	(0)	
Total	6		Total	0	

Basement Floor  
Plan

## A1.0

© 2000 Blackwell Science Ltd  
Journal of Internal Medicine 247: 111–117



CUBALA, WASHATKO  
ARCHITECTS

INC.  
1900 10017 Morgan Ave.  
Cedarburg, Wisconsin 53012  
Tel: 262-577-8023  
Fax: 262-577-2954

**ST. PAUL  
WAREHOUSE**  
Renovation and  
Remodeling

1500 W. St. Paul Ave.  
Milwaukee, WI 53233

**READCO**  
P.O. Box 1131  
Middletown, WI 53201  
tel: 414.272.6249  
fax: 414.272.9989

of medicine, nursing, and health care.

- Remove insulation and other structure elements. Replace 30' Matching Salvaged Material. Use As Bracing For Brick Wall Until Repairs Complete.
- Stop All Work Of Concrete, Woodwork, And Framing.
- Stop Heavy Use Of All Finish Work Materials.
- Stop Ceiling Use Of All Ceiling Materials.
- Remove Insulation From Ceiling. Remove All Support As Necessary For Complete Interior Finish Work Of Requirements.
- Remove Window Sash And Sillings. Preserve Window Jamb, Sills, And Surroundings.
- CEILING: Ceiling, Ceiling Wall, As Required.

## SECOND FLOOR

 $10^2 + 10^2$ 

Editorial Committee

3.6 (3) 31 / 71 55 per Occupant + 108 Occupants  
Male / 84 Female

### Building the Curriculum

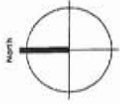
	Male	Female
WC	0.0	0.0
Leptocarpus	0.0	0.0
Utricularia	0.0	0.0
Sp	0.0	0.0

## Second Floor Plan

## A1.2

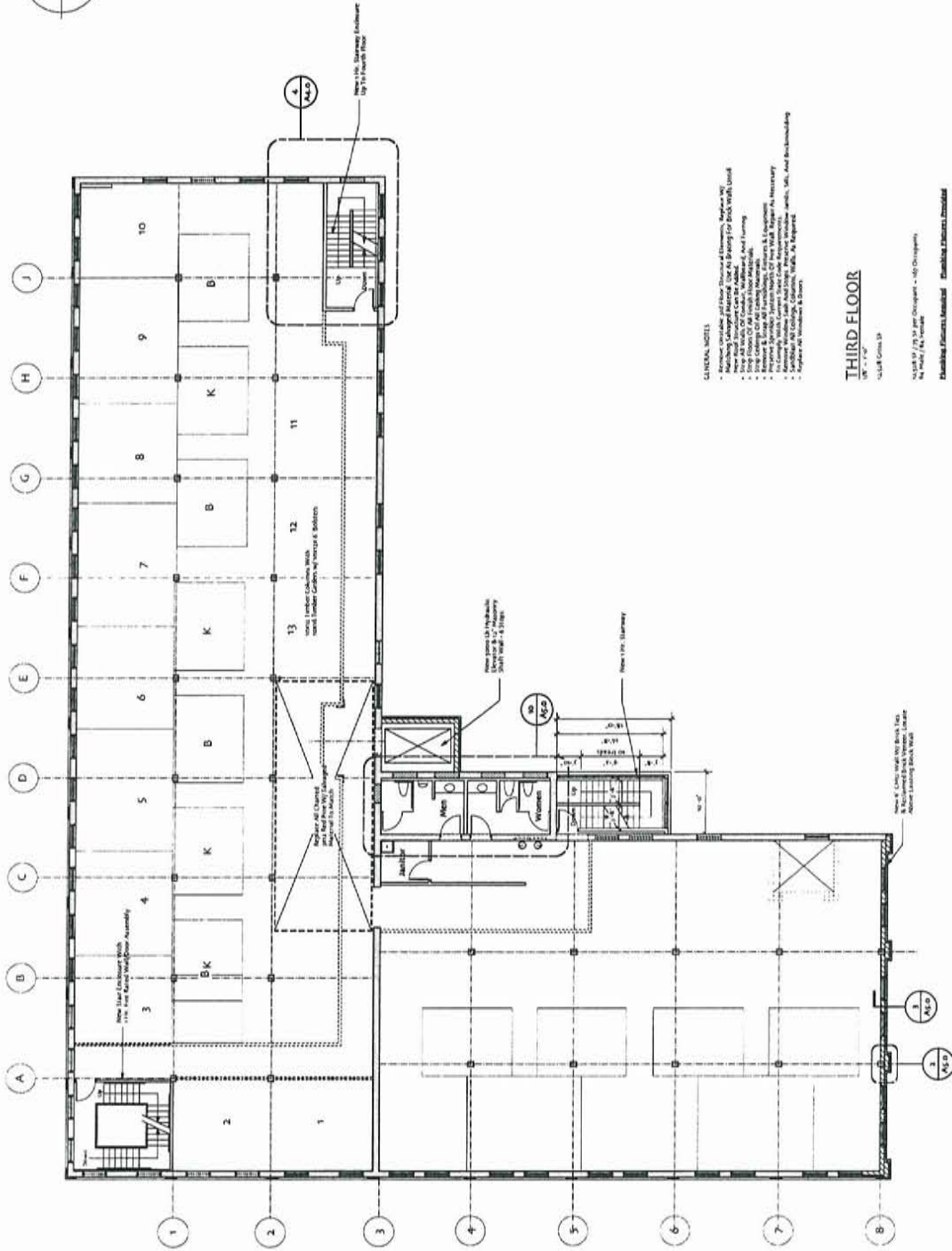
100% (100%)





**KUBALA WASHNIO  
ARCHITECTS**  
1500 W. St. Paul Ave.  
Milwaukee, WI 53233  
Tel: 414.277.2288  
Fax: 414.277.2289  
www.kubalawashnio.com

**ST. PAUL  
WAREHOUSE**  
Renovation and  
Remodeling  
1500 W. St. Paul Ave.  
Milwaukee, WI 53233  
READCO  
P.O. Box 1111  
Milwaukee, WI 53201  
Tel: 414.277.5249  
Fax: 414.277.5989  
www.readco.com



- GENERAL NOTE
- 1. Review structural floor plan. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 2. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 3. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 4. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 5. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 6. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 7. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 8. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 9. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 10. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 11. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 12. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.
  - 13. Review all existing and proposed structural details. Review all existing and proposed structural details. Review all existing and proposed structural details.

### THIRD FLOOR

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

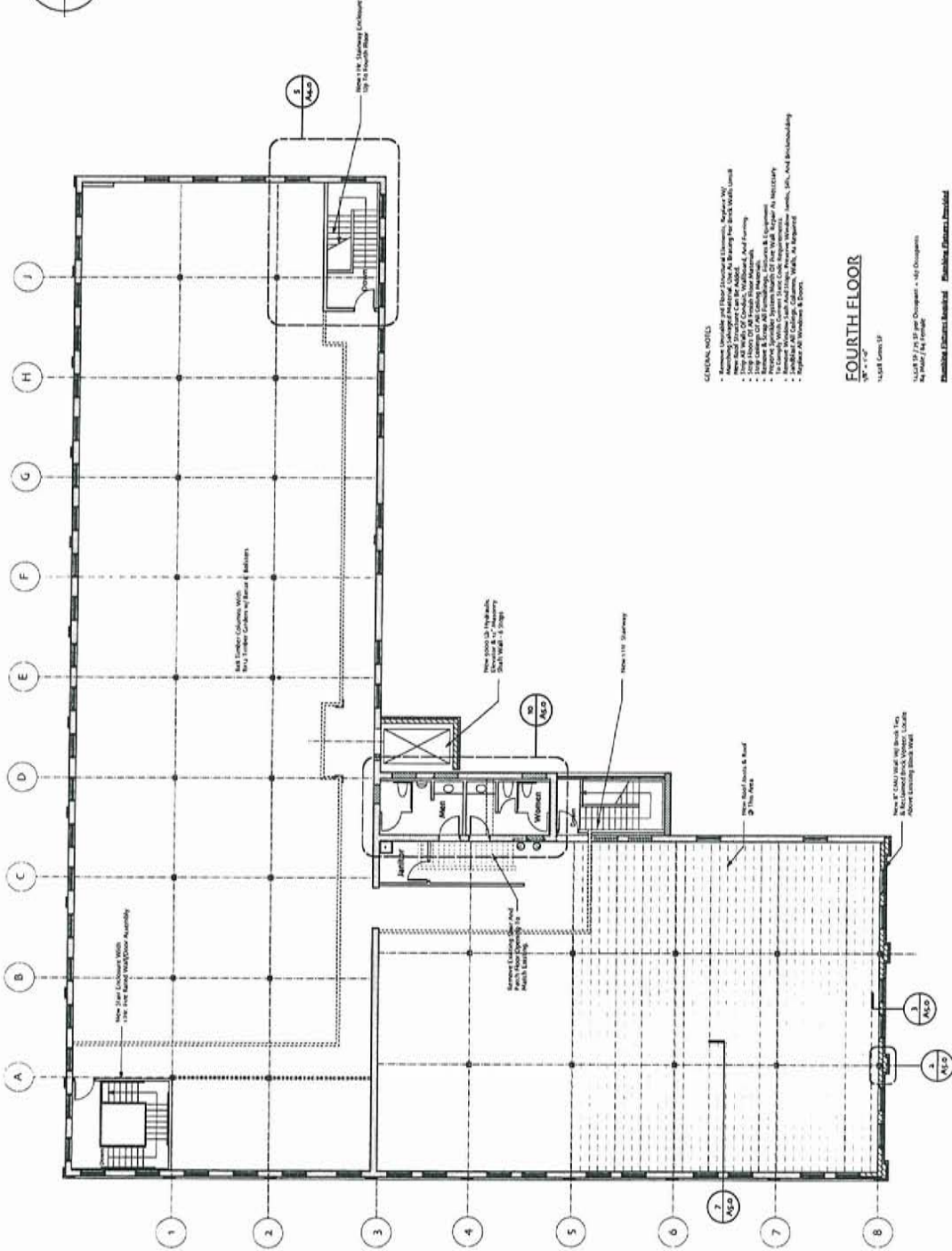
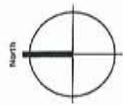
15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.

15,000 sq. ft.



- GENERAL NOTES**
- 1. All work shall conform to the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 2. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 3. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 4. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 5. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 6. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 7. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 8. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 9. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.
  - 10. All work shall be in accordance with the latest edition of the Minnesota Building Code, unless otherwise specified.

**FOURTH FLOOR**  
 30' x 100'

1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

**Material Schedule**

Material	Quantity	Unit
Concrete	100	YD
Rebar	100	LB
Formwork	100	SQ
Staircase	100	SQ
Roofing	100	SQ
Insulation	100	SQ
Paint	100	GA
Other	100	GA



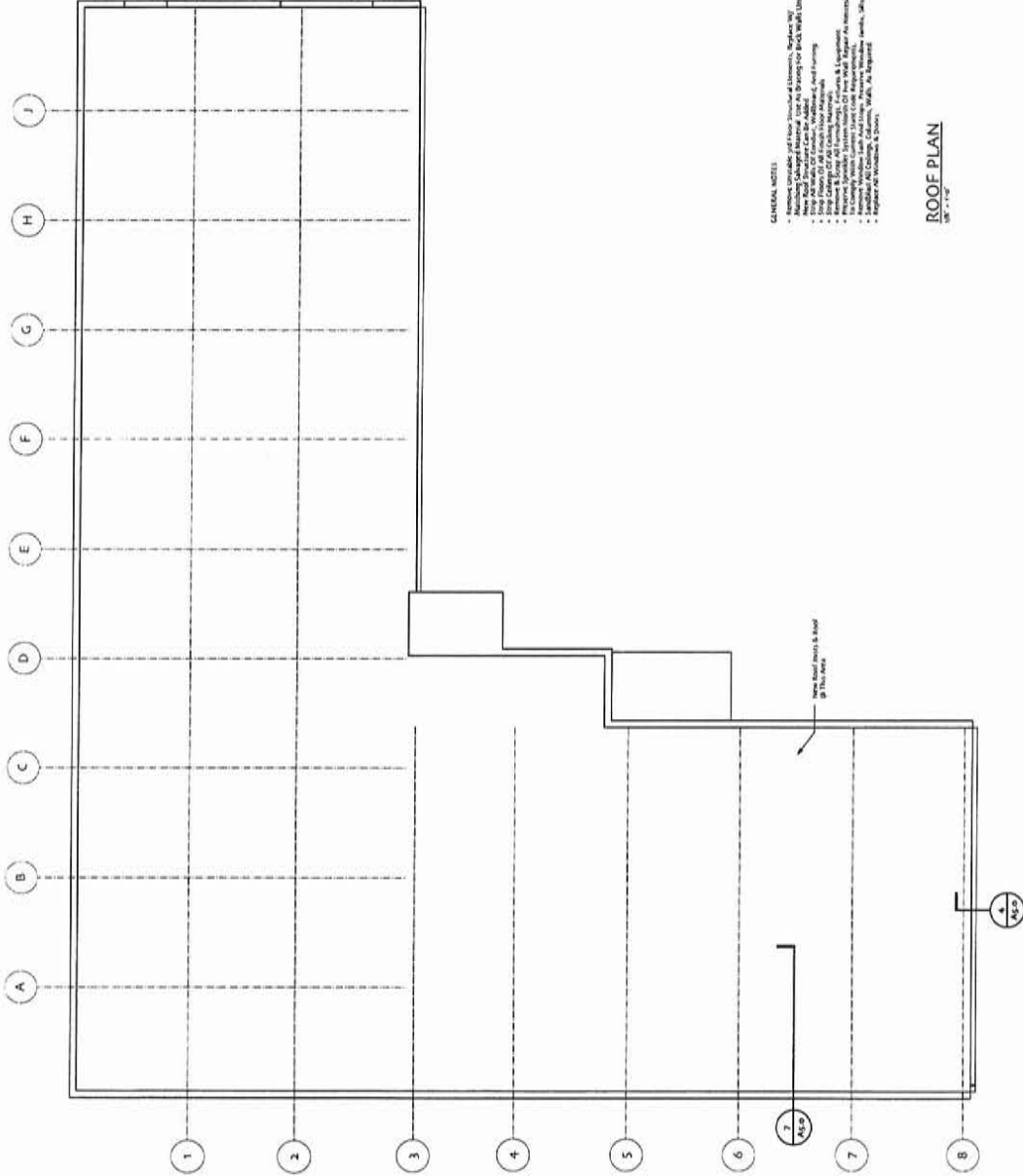
KUBALA WAGONKO  
ARCHITECTS

1001 N. 11th Street, Suite 200  
Milwaukee, WI 53233  
Tel: 414.277.2000  
Fax: 414.277.2001  
www.kubalawagonko.com

ST. PAUL  
WAREHOUSE  
Renovation and  
Remodeling

1500 W. St. Paul Ave.  
Milwaukee, WI 53233

READYCO  
P.O. Box 1331  
Milwaukee, WI 53201  
Tel: 414.272.8249  
Fax: 414.272.9989  
www.readyco.com



- GENERAL NOTES:
- 1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the latest edition of the International Residential Code (IRC).
  - 2. All work shall be in accordance with the latest edition of the Wisconsin Building Code.
  - 3. All work shall be in accordance with the latest edition of the Wisconsin Department of Transportation (DOT) Specifications.
  - 4. All work shall be in accordance with the latest edition of the Wisconsin Department of Natural Resources (DNR) Regulations.
  - 5. All work shall be in accordance with the latest edition of the Wisconsin Department of Health Services (DHS) Regulations.
  - 6. All work shall be in accordance with the latest edition of the Wisconsin Department of Agriculture, Trade and Consumer Protection (ATCP) Regulations.
  - 7. All work shall be in accordance with the latest edition of the Wisconsin Department of Insurance (DOI) Regulations.
  - 8. All work shall be in accordance with the latest edition of the Wisconsin Department of Workforce Development (DWD) Regulations.
  - 9. All work shall be in accordance with the latest edition of the Wisconsin Department of Children, Youth and Families (DCF) Regulations.
  - 10. All work shall be in accordance with the latest edition of the Wisconsin Department of Corrections (DOC) Regulations.
  - 11. All work shall be in accordance with the latest edition of the Wisconsin Department of Public Safety (DPS) Regulations.
  - 12. All work shall be in accordance with the latest edition of the Wisconsin Department of Transportation (DOT) Specifications.
  - 13. All work shall be in accordance with the latest edition of the Wisconsin Department of Natural Resources (DNR) Regulations.
  - 14. All work shall be in accordance with the latest edition of the Wisconsin Department of Health Services (DHS) Regulations.
  - 15. All work shall be in accordance with the latest edition of the Wisconsin Department of Agriculture, Trade and Consumer Protection (ATCP) Regulations.
  - 16. All work shall be in accordance with the latest edition of the Wisconsin Department of Insurance (DOI) Regulations.
  - 17. All work shall be in accordance with the latest edition of the Wisconsin Department of Workforce Development (DWD) Regulations.
  - 18. All work shall be in accordance with the latest edition of the Wisconsin Department of Children, Youth and Families (DCF) Regulations.
  - 19. All work shall be in accordance with the latest edition of the Wisconsin Department of Corrections (DOC) Regulations.
  - 20. All work shall be in accordance with the latest edition of the Wisconsin Department of Public Safety (DPS) Regulations.

ROOF PLAN  
1/8" = 1'-0"

Roof Plan

A1.5